



Select Project Portfolio

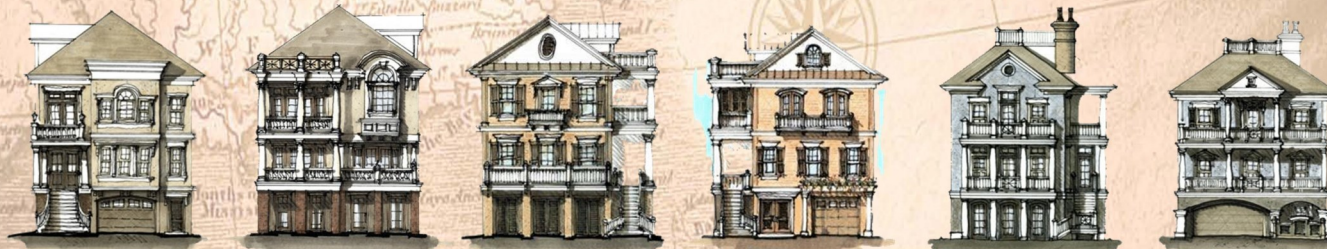
J Richard Alsop, Architect PLLC
PO Box 481000
Charlotte, NC 28269
704-358-8400

Select Project Portfolio

01	Emerald Isle, NC Cannonsgate	Theme and Brand Development from Inception Amenity Design - Gatehouse, Post House, Manor House Complex Management of 3D Virtual Tour	Architectural Guidelines Pattern Book All Digital Architectural Review
02	Union County, NC Chatelaine	Amenity Design - Gatehouse/Entrance Architectural Guidelines All Digital Architectural Review	Construction Administration/Project Mgmt.
03	New Bern, NC Cutter Bay	Theme and Brand Development from Inception Amenity Design - Marina buildings, Manor House Complex Management of 3D Virtual Tour	Architectural Guidelines All Digital Architectural Review Marketing
04	Mineral Springs, NC Estates at Soen	Theme and Brand Development from Inception Amenity Design - Gatehouse, Manor House Complex Architectural Guidelines	Pattern Book All Digital Architectural Review Marketing
05	Belmont, NC Reflection Pointe	Theme and Brand Development Amenity Design - Gatehouse, Manor House Complex Architectural Guidelines	All Digital Architectural Review Construction Administration/Project Mgmt.
06	Lancaster County, SC Regions of Bretagne	Theme and Brand Development Amenity Design - Gatehouse, 6.5 Acre Manor House Complex Drafting of Conditions, Covenants and Restrictions	Architectural Guidelines Pattern Book Home Patterning
07	Union County, NC Skyecroft	Theme and Brand Development Amenity Design - Gatehouse, Manor House Complex Management of 3D Virtual Tour	Architectural Guidelines All Digital Architectural Review Construction Administration/Project Mgmt.
08	Wilmington, NC Summerhouse	Theme and Brand Development from Inception Amenity Design - Gatehouse, Manor House Complex Management of 3D Virtual Tour	Architectural Guidelines All Digital Architectural Review Marketing
09	Houston, Texas Sustainability	Affordable/Sustainable Housing Competition \$99K home	
10	Architectural Review for Master Planned Communities	Mission Description	Resume

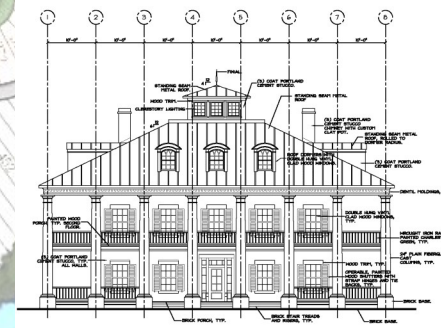
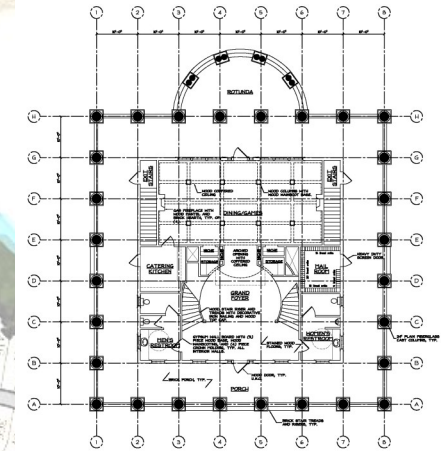
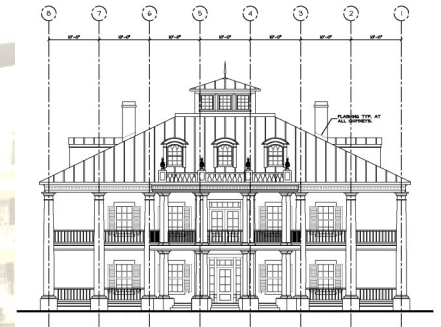
CANNONSGATE

At Bogue Sound



CANNONSGATE

at Bogue Sound



CANNONSGATE

At Bogue Sound

CANNONSGATE
At Bogue Sound

RISE 001
Architectural elevation
Overall dimensions: 10'6" x 10'4"
3,129 square feet (3,129 sq ft overall area)
52' of overall perimeter
Four bedrooms
Three full and one half bathrooms
Optional finished lower level w/ bath (not included) and pool-casita garage

RISE 002
Low country elevation
Overall dimensions: 10'6" x 10'4"
3,129 square feet (3,129 sq ft overall area)
52' of overall perimeter
Four bedrooms
Three full and one half bathrooms
Pool-casita garage

RISE 003
Architectural elevation
Overall dimensions: 10'6" x 10'4"
3,129 square feet (3,129 sq ft overall area)
52' of overall perimeter
Four bedrooms
Three full and one half bathrooms
Optional finished lower level w/ bath (not included) and pool-casita garage

charette architects

ARCHITECTURAL GUIDELINES

The following are the Architectural and Design criteria established by the Cannonsgate Architectural Review Committee ("CANNONSGATE ARC") on behalf of the Cannonsgate Homeowners Association ("CANNONSGATE HOA"), and in accordance with the recorded "Declaration of Covenants, Conditions and Restrictions of Cannonsgate at Bogue Sound Subdivision".

- ARTICLE 1 - STATEMENT OF PURPOSE & INTENT**
- Purpose:** These Cannonsgate Architectural Guidelines ("Guidelines") provide an overall framework and comprehensive set of standards and procedures for the development of the community as an orderly and cohesive manner. These Guidelines have been developed to provide direction for the planning, design, construction, landscaping, and finishing of all residences, buildings, and structures in accordance with the CANNONSGATE covenants. The Guidelines are drafted to be flexible, site sensitive, and in keeping with the spirit of the covenants, to ensure that the community and its character are preserved. In addition, the Guidelines establish a process for review of all proposed construction and modifications to residences, buildings, and structures to ensure that all built-out within CANNONSGATE are developed with consistency and quality.
 - Intent:** It is the intention of the CANNONSGATE ARC that all construction and other improvements within the community be of the highest design quality and be planned and built to be aesthetically and architecturally harmonious with one another and with the natural features of the land. The CANNONSGATE ARC is particularly concerned that the community be a recognized and of high quality design aesthetic. It is the intent to ensure a process that the community and to preserve the aesthetic integrity of the community. The CANNONSGATE ARC may at times place a temporary restriction on any particular style of design or building material used, at the sole discretion of the CANNONSGATE ARC, if it is determined that the community has been brought back on balance.
- ARTICLE 2 - APPLICABILITY, AUTHORITY & AMENDMENTS**
- Applicability:** The Guidelines shall govern all residences, buildings, and all other structures and improvements within the CANNONSGATE properties, which are or may be subject to the Declaration. These Guidelines are not binding upon the CANNONSGATE ARC.
 - Authority:** The Cannonsgate Architectural Review Committee ("CANNONSGATE ARC") has jurisdiction over all matters relating to construction, maintenance and landscaping of new construction and modifications to the Declaration. The CANNONSGATE ARC is authorized by the Declaration to provide a framework for the construction and modifications. The Guidelines are not all-inclusive. In its review process, the CANNONSGATE ARC may consider the quality of workmanship and design, materials of exterior design including materials, and location as well as landscaping, site, topography, and local grade variations, among other things. The CANNONSGATE ARC reserves the right to reject any proposal, and may disapprove plans, specifications or other materials, in any instance including newly selected materials, when in the sole discretion of the CANNONSGATE ARC, shall be deemed sufficient.
 - Governmental Permits:** To the extent that the North Carolina State Building Code, Current County Ordinances or any other governmental building code or applicable statute or ordinance mandating that the standards set forth in these Guidelines or the Declaration, the government standards shall prevail. To the extent any government standard is in any structure, the Declaration and the Guidelines in that matter shall prevail.
- Cannonsgate at Bogue Sound Architectural Guidelines
November 6, 2017 Edition - Revision 4.08
Page 12 of 27

PRELIMINARY ARCHITECTURAL REVIEW APPLICATION FORM

Submit this form only after all fees have been paid and you have received a new name and password for the ARC website. This form may only be submitted by registering to the ARC website. Do not email or hand deliver.

This form and all required information, including drawings, photographs, material samples, etc., must be submitted in digital format using pdf, tiff, or jpeg file formats.

This is an application for Preliminary Architectural Review of a new Residence: YES NO
Or this is for The Application Form.

DATE: _____ SUBMITTAL DATE: _____

PROPERTY ADDRESS: _____

Complete all applicable information below:

OWNER'S NAME: _____
CITY/STATE/ZIP: _____
PHONE: _____ (Provide the preferred phone number for contact)
EMAIL: _____

REGISTERANT: _____ (Please Contact if other than the Owner)
CITY/STATE/ZIP: _____
PHONE: _____ (Provide the preferred phone number for contact)
EMAIL: _____

BUILDER: _____
CITY/STATE/ZIP: _____
PHONE: _____ (Provide the preferred phone number for contact)
EMAIL: _____

PLAN NAME: _____
ARCHITECT/DESIGNER: _____

FINAL ARCHITECTURAL REVIEW APPLICATION FORM

Submit this form only after all fees have been paid and you have received a new name and password for the ARC website. This form may only be submitted by registering to the ARC website. Do not email or hand deliver.

No drawing, printing or construction shall commence before written approval of this application is obtained by pre-construction review is completed.

This form and all required information, including drawings, photographs, material samples, etc., must be submitted in digital format using pdf, tiff, or jpeg file formats.

This is an application for Final Architectural Review of a new Residence: YES NO
Or this is for one of the following: RECONSTRUCTION ADDITION POOL or DOCK OTHER: _____ (define)

DATE: _____ SUBMITTAL DATE: _____

PROPERTY ADDRESS: _____

Complete all applicable information below: (Do not include anything to only new or changed information)

OWNER'S NAME: _____
CITY/STATE/ZIP: _____
PHONE: _____ (Provide the preferred phone number for contact)
EMAIL: _____

REGISTERANT: _____ (Please Contact if other than the Owner)
CITY/STATE/ZIP: _____
PHONE: _____ (Provide the preferred phone number for contact)
EMAIL: _____

BUILDER: _____
CITY/STATE/ZIP: _____
PHONE: _____ (Provide the preferred phone number for contact)
EMAIL: _____



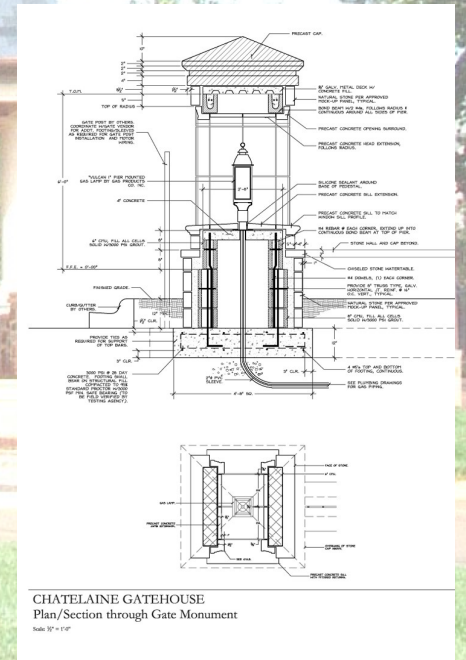
charette

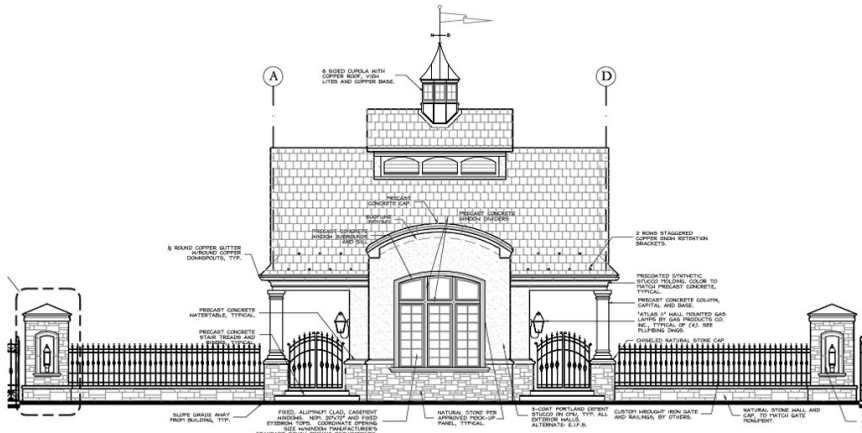
FRONT ELEVATION



charette

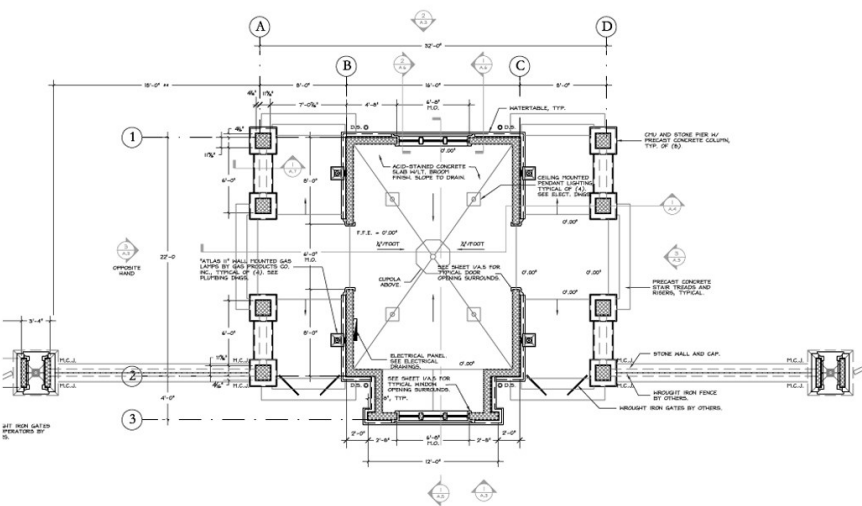
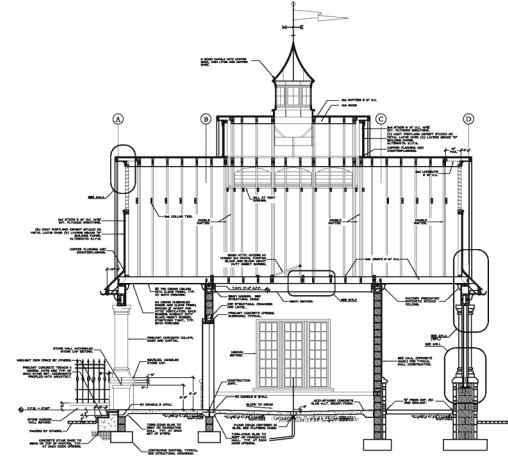
RIGHT ELEVATION





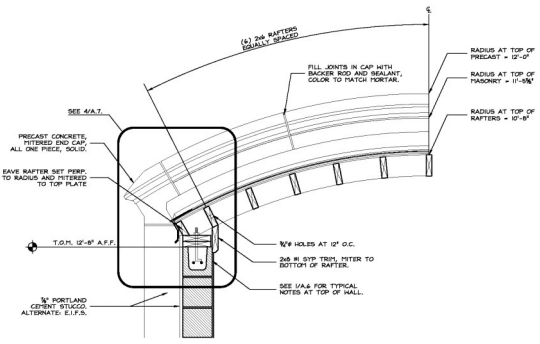
CHATALEINE GATEHOUSE
Front Elevation

Scale $\frac{1}{8}'' = 1'-0''$



CHATALEINE GATEHOUSE
Floor Plan

Scale $\frac{1}{8}'' = 1'-0''$





dotted horsemint



tag alder



hyacinth



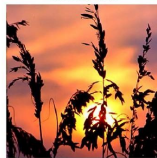
carolina kalmia



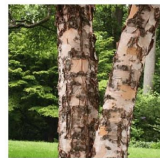
buttonbush



eastern baccharis



sea oats



river birch



glossy privet

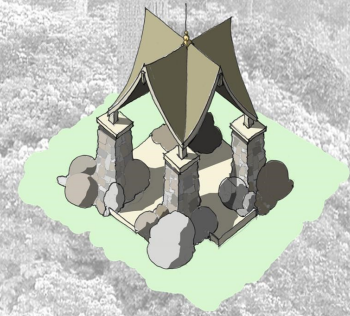


This is a special Seaside cottage. Much like a piece of crystal, this home is alluring and a bit mysterious, engagingly transparent yet designed to be faceted with various surprises. It's neither the grandest architectural statement nor the most extravagant view—but it has all the allure one could ever want in its detail, warmth, and charm of a house by the sea.

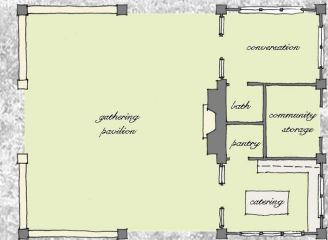
Eleanor Lynn Nesmith



Estates at Soen



pond pavilion



gathering pavilion plan



gathering pavilion elevation

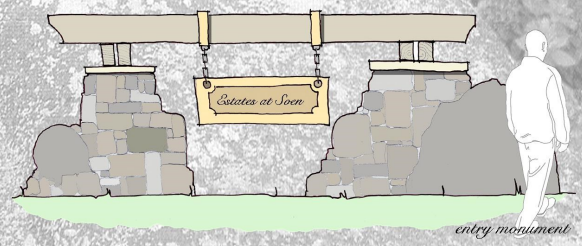


Estates at Soen
40 acre conservation subdivision located in Mineral Springs, NC.

20 acres of common open space
warm, old world feel
12 custom estate home sites
classic architectural styles
heavy timber gathering pavilion
sculptural pond pavilion
winding stone walks and paths
cobblestone streets

seclusion abounds

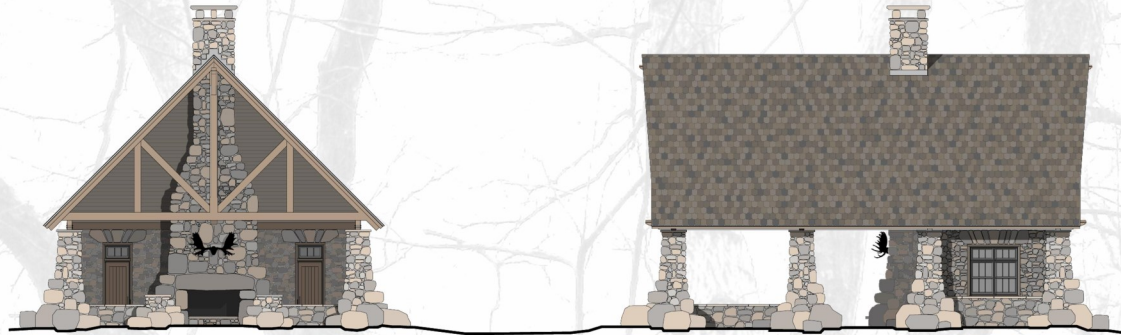
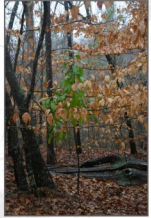
Soen



entry monument

Estates at Soen

a luxury community in Mineral Springs,



Gathering Pavilion

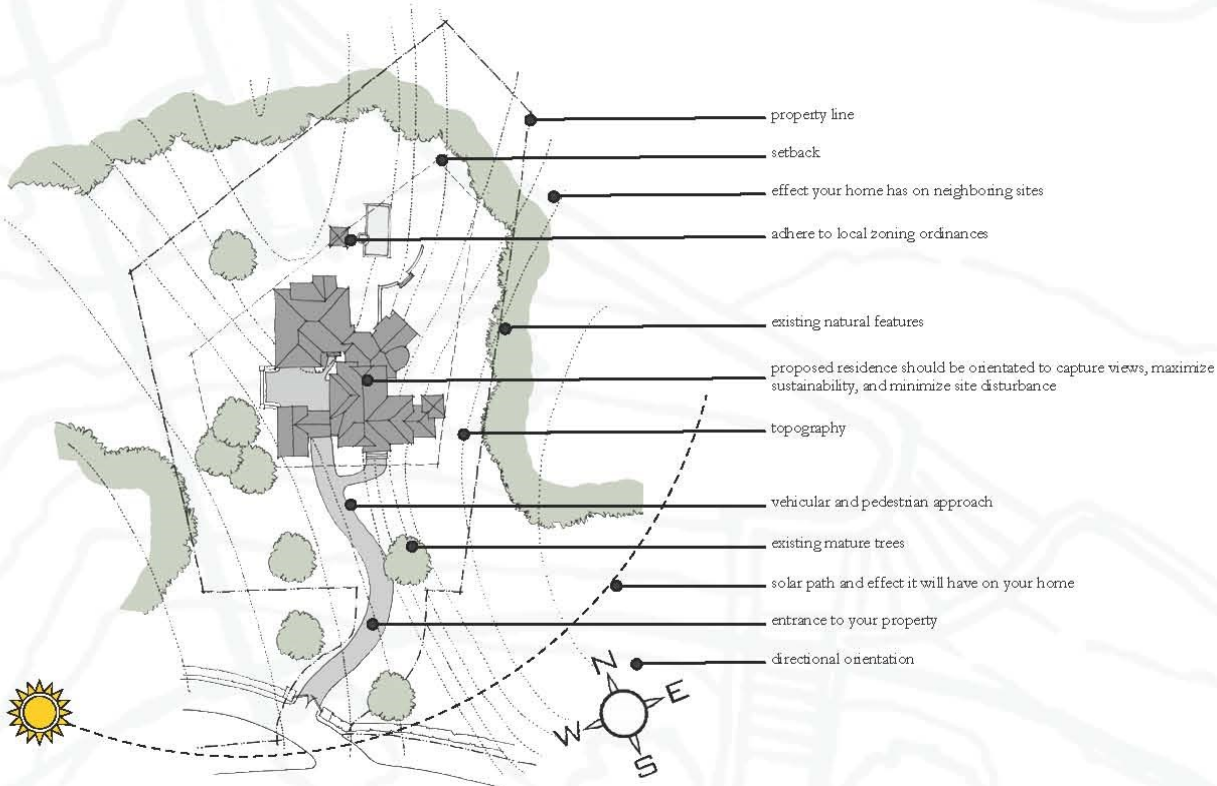


Pond Pavilion



Private Drives

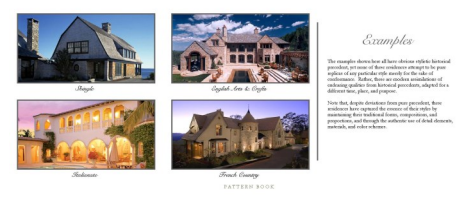
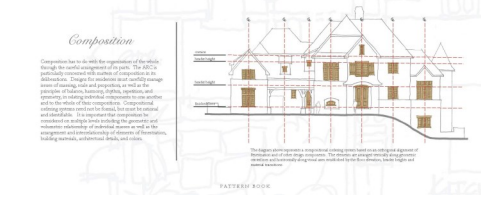
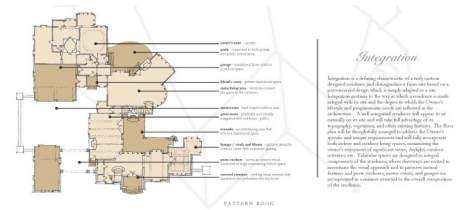
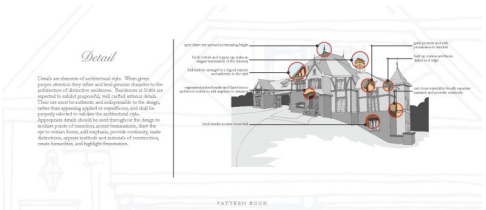
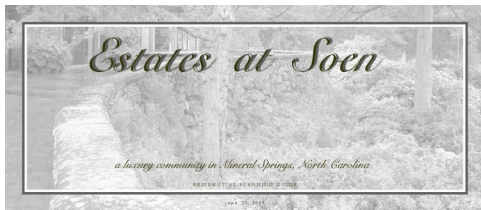


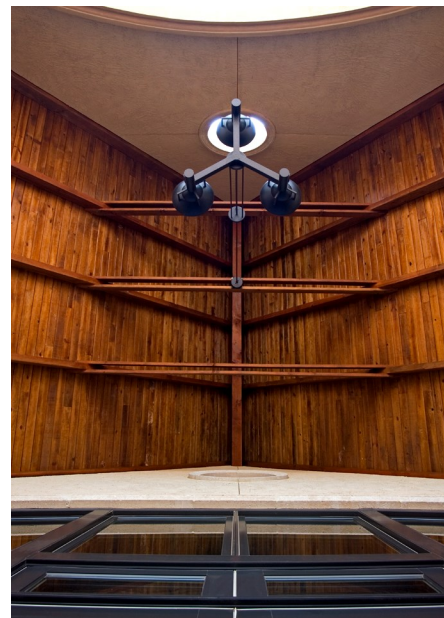
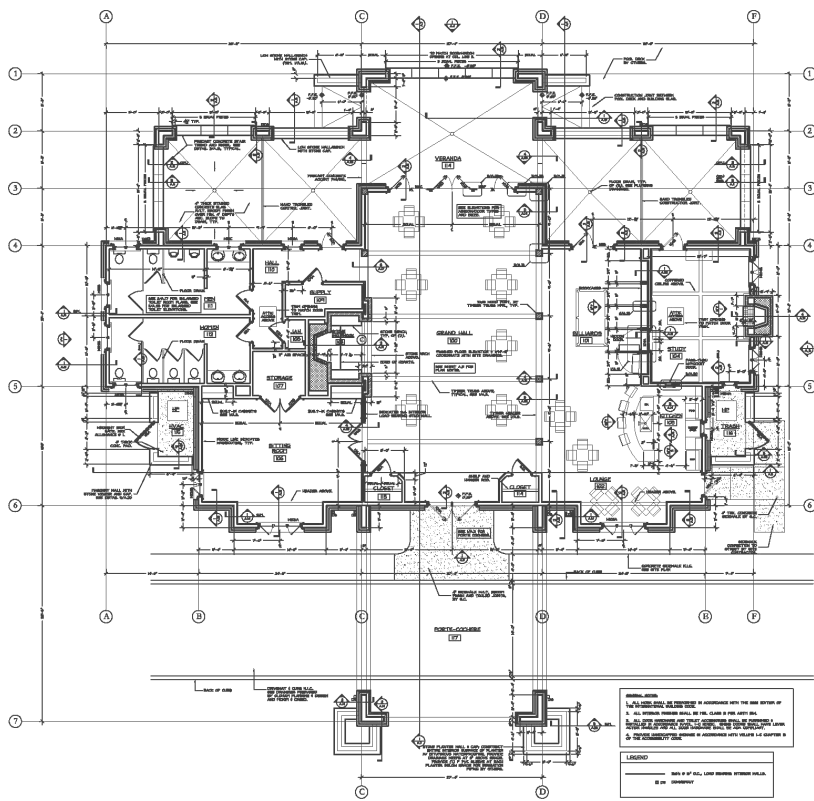
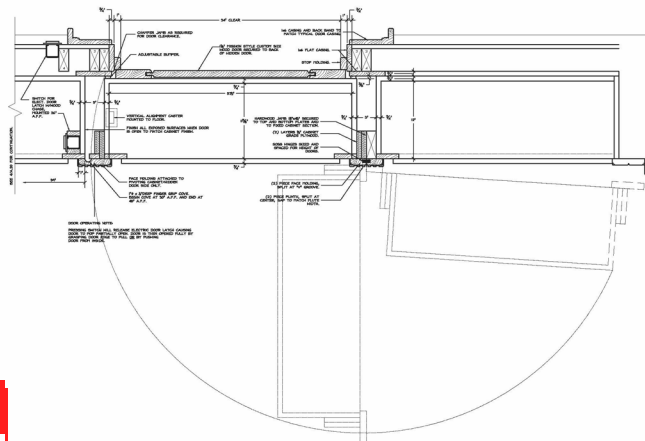
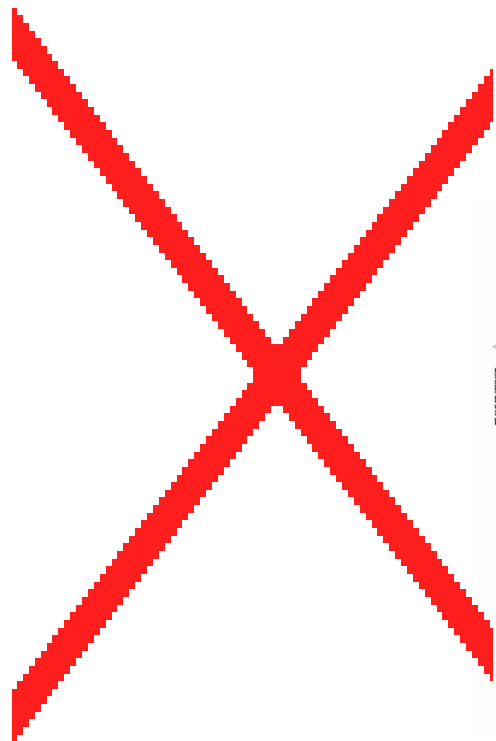


Siting

Residences at SOEN are to be sited in an intimate and thoughtful way and with minimal impact on the site. A careful site analysis is essential to the design process and is a required component of the submittal to the ARC. The site analysis involves an inventory of the natural features of the site, such as topography, mature trees, rock outcroppings, and fields, and the consideration of prominent views, solar orientation, existing storm water drainage patterns, relationship to the street, and adjacent land uses.

PATTERN BOOK





- BORDEAUX
15 LOTS
- CHESHIRE
31 LOTS
- NOTTINGHAM
48 LOTS
- NORMANDY
50 LOTS
- TUSCANY
65 LOTS
- ESTATE LOTS
84 LOTS
- COMMON AREA
- WATER
- TREE AREA



Reminiscent of the castles and cathedrals of the Renaissance era, English architecture is distinguished by sturdy stone walls, turrets, and sweeping arches and arch-shaped windows. Weeping mortar and wrought iron accents are touches that help accentuate the royal look of the elegant English Manor homes.



In the countryside of rural France, every province has its own look and style. While French architecture reflects this diversity, all French Country homes share a selection of common elements. Tall, thin windows, slabboard shutters, steep roofs, multiple gables, and arches over windows, shutters, and garage doors create an authentic French facade. Stucco and stone details contribute to a French Country home's character-like appearance.



With its combination of simple geometry and materials of stone, terracotta pantiles on the rooftop, and timber beams, a Tuscan Villa's lodge-like exterior is why these homes are often viewed as the quintessential retreat. The floors of the interiors are sometimes reinforced with stone and terracotta tiles, while mosaic tile exteriors, wrought iron gates and portals, and distinctive bridges all combine for the unique Tuscan identity.

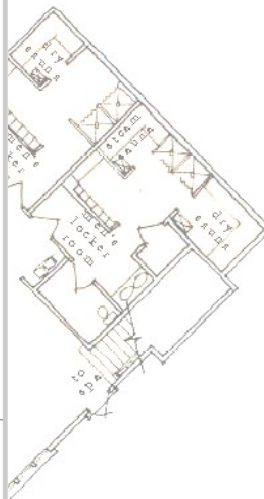
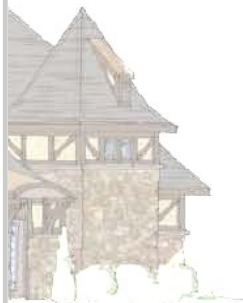
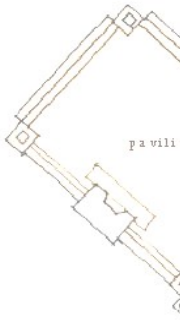


BRETAGNE

English
Manor

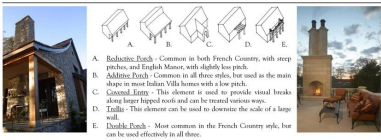
French
Country

Tuscan
Villa



Porches and Outdoor Rooms

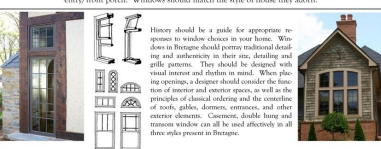
While different styles call for different amounts of porches and outdoor rooms, all homes require spaces dedicated specifically to the outdoors.



- A. **Robust Porch** - Common in both French Country, with steep roofs, and English Manor with slightly low-pitch.
- B. **Additive Porch** - Common in all three styles, but used as the main slope to more formal villa homes with a low-pitch.
- C. **Ground Level** - This element is used to provide visual breaks along larger hipped roofs and can be treated various ways.
- D. **Trellis** - This element can be used to demarcate the side of a large wall.
- E. **Shaded Porch** - Most common in the French Country style, but can be used effectively in all three.

Doors and Windows

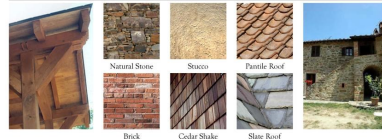
Special care and attention must be paid to the placement and number of openings on a house. Front doors are required to be wood with a minimum size of 8'0" tall by 3'6" wide and should relate to the covered entry/front porch. Windows should match the style of house they adorn.



History should be a guide for appropriate responses to window choices in your home. Windows in France should feature traditional detailing and substance in their size, detailing and grille patterns. They should be designed with visual interest and flourish in mind. When placing openings, a designer should consider the function of exterior and interior spaces, as well as the principles of classical ordering and the combination of roof, gables, chimneys, entrances, and other exterior elements. Careless, double hung and mission window can all be used effectively in all three styles present in Bretagne.

Materials

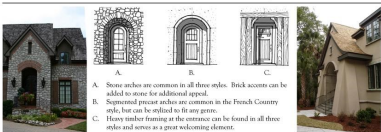
When selecting the outside finishes for new homes, the intention should be to create a sense of belonging within Bretagne. Locally available, natural materials are strongly encouraged. Below are a few acceptable and appropriate materials for the Regions of Bretagne. Each can be applied several different ways that are consistent with the style they represent.



Brick Color Shaker Stone Roof

Entrances

Entrances need to be well articulated on the front and clearly identifiable.



- A. **Stone arches** are common in all three styles. Brick accents can be added to create the additional appeal.
- B. **Segmented great arches** are common in the French Country style, but can be utilized in any genre.
- C. **Heavy timber framing** at the entrance can be found in all three styles and serves as a great welcoming element.

Garages

Placement of garages should be designed so to minimize visual impact from the street. The garage doors are required to be recessed or have an architectural element above them, such as a trellis or a secondary roof. The garage doors are to be real wood in the carriage style.



Colors

Color is the final consideration in creating that sense of belonging for a new home in its surroundings. Colors should be chosen from the natural landscape with the use of earth-tones.





main level floor plan



BRETAGNE



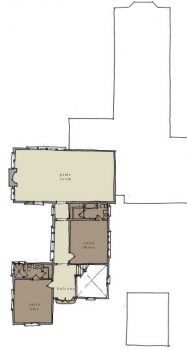
◆ TUSCAN VILLA ◆

LEED® FOR HOMES
green building standard:
innovation and design process
location and linkages
sustainable sites
water efficiency
energy and atmosphere
materials and resources
indoor environmental quality
awareness and education

total heated sq. ft.
3,942
total sq. ft. under roof
5,245



first floor plan



second floor plan



BRETAGNE



◆ FRENCH COUNTRY ◆

LEED® FOR HOMES
green building standard:
innovation and design process
location and linkages
sustainable sites
water efficiency
energy and atmosphere
materials and resources
indoor environmental quality
awareness and education

total heated sq. ft.
4,472
total sq. ft. under roof
7,198



first floor plan



second floor plan



BRETAGNE



◆ ENGLISH MANOR ◆

LEED® FOR HOMES
green building standard:
innovation and design process
location and linkages
sustainable sites
water efficiency
energy and atmosphere
materials and resources
indoor environmental quality
awareness and education

total heated sq. ft.
3,635
total sq. ft. under roof
5,245

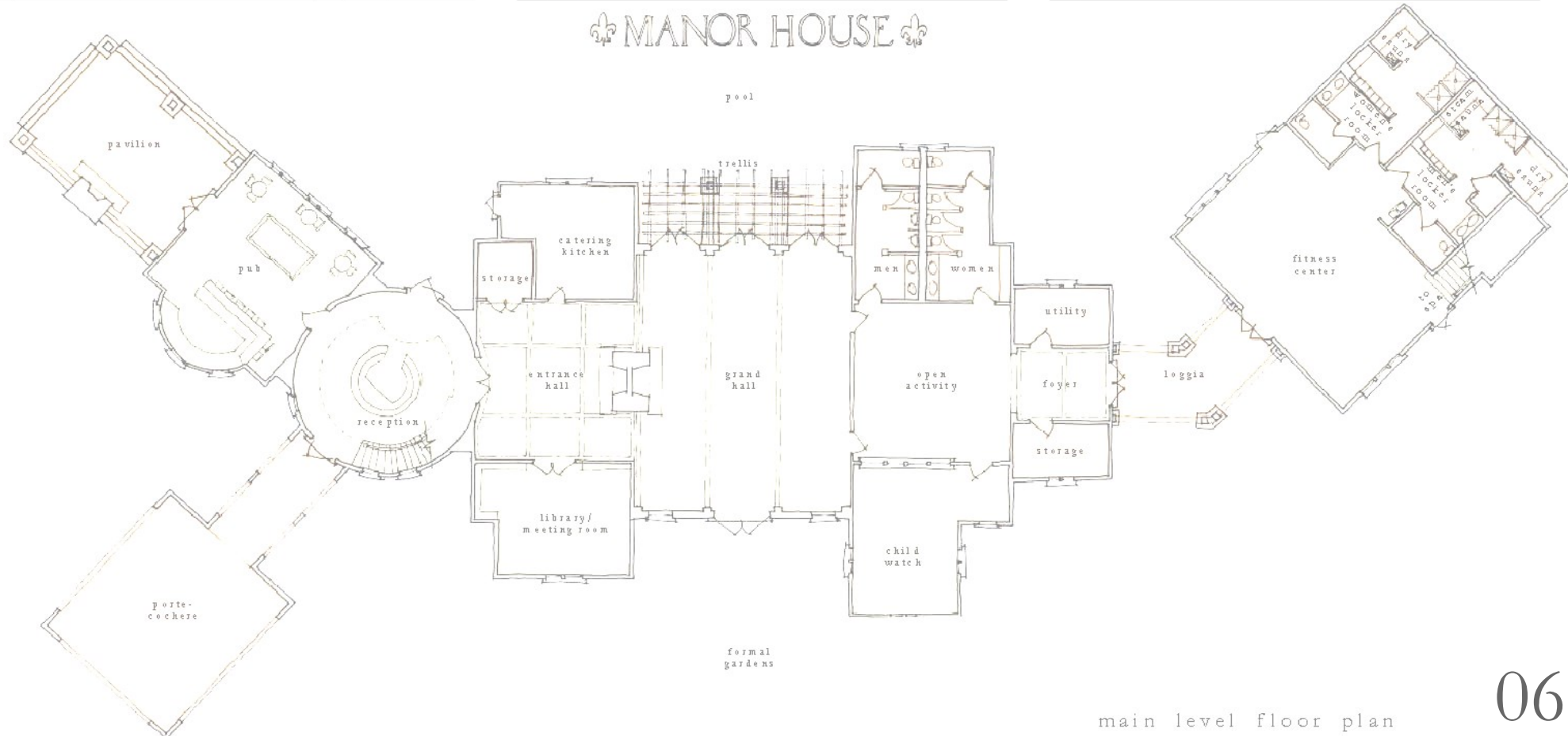


first floor plan

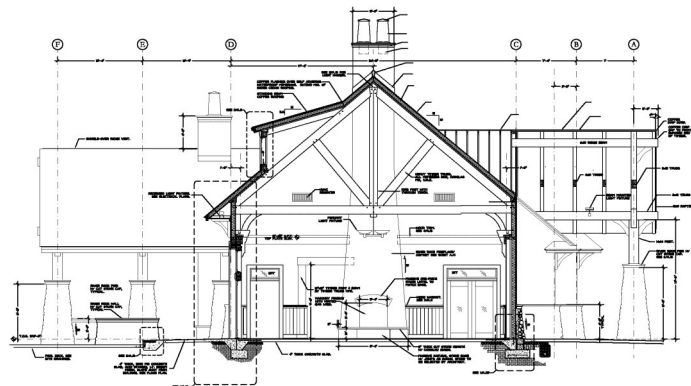
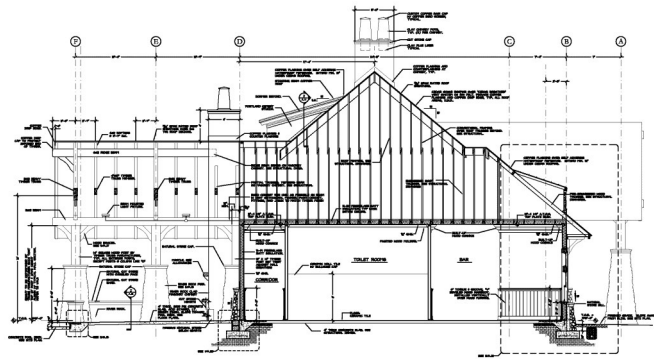


second floor plan

◆ MANOR HOUSE ◆









Architecture starts when you carefully put two brick together. There it begins.

Ludwig Mies van der Rohe



J Richard Alsop, Architect PLLC - Mission

The sole mission of J Richard Alsop, Architect PLLC is to serve as consultants to Architectural Review Boards of Planned Communities:

Following decades of work developing planned communities as well as individual residences throughout the region, Richard Alsop became involved in supporting the review process with several of these same communities. Following this, other communities requested Richard to assist their effort in some cases to simply to reduce the tension between neighbors, which is inevitable when a plan is not approved by a neighborhood committee. Today, this is the sole professional service provided by the firm. It is believed that the synergy of working with multiple communities with a singular mission will provide a much more refined service for each.

Richard's work as a consultant includes the following:

- Confer regularly with ARC members and committee chairs. Prepare formal letters on behalf of the ARC.
- Provide a no-cost 'concept review' of home plans.
- Provide and manage an FTP site for uploading digital submittals. Automatic notifications are issued to members with each submittal.
- Provide a comprehensive review of submittals for ARC committee review.
- Revise Guideline Documents and Addendums as required.
- Present updates to HOA members at Annual Meetings.
- Provide consulting as required by the HOA Board and ARC on matters associated with enforcement of compliance when problems arise on individual sites.

J Richard Alsop, Architect PLLC is a registered Architectural Corporation in the following States:

North Carolina: # 50968

South Carolina: #98076

Florida: #AA26001475

COMMUNITIES WHERE J RICHARD ALSOP, ARCHITECT PLLC SERVES AS PROFESSIONAL CONSULTANTS TO THE HOA / ARC INCLUDE:

Anniston Grove – Indian Trail, NC

Boardwalk on the Waterway—Myrtle Beach, SC

Cannonsgate at Bogue Sound – Bogue, NC

Chatsworth—Weddington NC

Crescent Properties - NC

Longbrooke Estates – Lancaster, SC

Reflection Pointe – Belmont, NC

Riverchase—Lancaster, SC

Skyecroft – Waxhaw, NC

Stratford on Providence – Weddington, NC

Summerhouse at Everett Bay – Holly Hill, NC

Therrell Farms—Weddington, NC

Waterbridge—Myrtle Beach, SC

Water Ridge – Lake Alfred, FL

Waterway Palms Plantation— Myrtle Beach, SC

Woodhall – Union County, NC

Woodland Bay - Belmont, NC

J. Richard Alsop, Jr. AIA

Licensed Professional Architect

- 01.1998-Present: Founding Partner—J Richard Alsop, Architect PLLC
Responsible for all aspects of support to Master Planned Communities Architectural Review Boards for Home Owner Associations currently representing over 5000 Home Sites.
- 02.1983-12.1997 Founding President and CEO: A/E Research and Design, PA, and ISO 9001 Company
Responsible for managing architectural and engineering activities for mid-sized A/E firm
Engaged in commercial, industrial, institutional, educational and residential work.
- 1972-1983 Duke Power Design Engineering
Designer and Project Architect on numerous industrial, educational and laboratory facilities.

Formal Education

- 1972 BA Philosophy
1977 BA Architecture
University of North Carolina at Charlotte

Professional Affiliations:

- Registered Architect, North Carolina: License # 3841
Registered Architect, South Carolina: License # 3063
Registered Architect, Florida: License # 93846
Member— American Institute of Architects
Member—National Council of Architectural Registration Boards

Community Affiliations:

- Boy Scouts of America—Former Scoutmaster
Wesley Community Development Corporation—Non Profit affordable Housing Program - Past VP Construction
Distinguished Toastmaster—Toastmasters International
Paul Harris Fellow—Rotary International